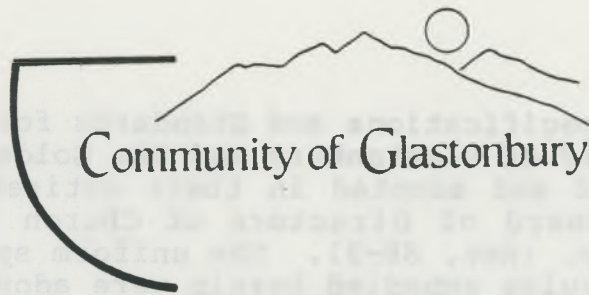


# MOBILE HOMES



Community of Glastonbury

## **Specifications and Standards For Mobile Homes in The Community of Glastonbury and The Golden Age Village**

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These Specifications and Standards for Mobile Homes in the Community of Glastonbury and the Golden Age Village were authorized and adopted in their entirety on June 4, 1988 by the Board of Directors of Church Universal and Triumphant, Inc. (Rev. 88-2). The uniform specifications, standards and rules embodied herein were adopted under the authority of Sections 6.01, 6.05 and other provisions of the Declaration of Covenants for the Community of Glastonbury, and were determined by the Board of Directors to be reasonably necessary for the health and safety of residents and to maintain the general character and quality of the Community of Glastonbury.

The Board of Directors has delegated the authority to the Glastonbury Project Review Committee--as a standing committee of the Church--to publish and uniformly administer and enforce these specifications, standards and rules for the benefit of all present and future residents of the Community, to grant variances, and to implement future amendments in certain instances.

These rules supercede any previous rules or versions thereof adopted prior to June 4, 1988.

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## 1.0 INTRODUCTION

The purpose of this document is to assist landowners and lessees in planning and contracting for the safe installation of mobile homes in the Community of Glastonbury and the Golden Age Village mobile home park, and to set forth the standards and requirements which apply to this type of residential development.

This document is not a do-it-yourself manual. It sets forth only the minimum specifications and standards for the Community of Glastonbury and Golden Age Village. A particular situation may require standards which exceed those set forth herein. It is recommended that the landowner or lessee study the material referenced in this publication in order to become more informed. It is also recommended that the landowner or lessee use qualified personnel in the planning and execution of this type of project. In addition to the yellow pages of the telephone book and other normal avenues of advertising, the Glastonbury Administrative Office (GAO) maintains a list of contractors who have submitted at least three (3) references for this type of work and/or who have completed projects in the Community. This list is available from the GAO during business hours.

Some of the requirements in this document apply only to the Golden Age Village, and these are noted as such. All of the other requirements apply equally to mobile home installations in both the Golden Age Village and the entire Community of Glastonbury.

For purposes of the application, administration and enforcement of these specifications, standards and rules, and for no other purposes in the Community of Glastonbury, the term "mobile home" used herein shall also include trailers, modular homes or any other housing substantially manufactured and assembled in a factory for transportation onto a private housing site--whether built under the national HUD codes, state UBC codes, or any other building codes or regulations.

## 2.0 PROJECT REVIEW

Construction plans and mobile home installations in the Community are reviewed under Covenant 6.01 (see Appendix I). Before construction work can begin on a mobile home site, the project must be evaluated and approved by the Glastonbury Project Review Committee (the "Committee"). The purpose for this review is to insure that minimum standards of safety and health are adhered to in

the Community for the benefit of all residents, and in the case particularly of mobile homes that the aesthetic character and quality of the Community is maintained consistent with the Covenants.

For siting a mobile home on a parcel, the review is initiated by a landowner filling out a Glastonbury Project Review and Evaluation Application, together with Sheet "C" concerning mobile home installations. For siting a mobile home on a lot in the Golden Age Village, the lessee should fill out a Golden Age Village Site Plan and Mobile Home Placement Application. Information for these forms is developed in the site planning phase (see Section 3.0). In the Golden Age Village, particular attention should be paid to the Minimum Installation Regulations and Lot Requirements (see Section 6.0).

Once the appropriate forms have been executed, and all of the required submittals attached, they should be forwarded along with the sanitation bond to the Projects Coordinator for the Committee. In most cases, the Projects Coordinator will arrange for the proposed development site to be visited and inspected by one of the members of the Committee or a person designated by them. The Committee as a whole will then review the project and communicate its decision and any recommendations or conditions of approval to the landowner or lessee. Once the project has been approved, the applicant is free to begin the construction necessary to install the mobile home.

### 3.0 SITE PLANNING

In order to plan for a mobile home installation in either the Community of Glastonbury or the Golden Age Village, it is necessary to select a site, develop a parcel or lot site plan and stake it on the ground, identify access, prepare a site drawing, fill out and submit the appropriate application forms (see Section 2.0), and await the approval of the project.

An experienced contractor or consultant can and should be engaged in the planning process.

The Glastonbury project application and review process is required and the sanitation bond must be paid before any construction or installation work can take place. The purpose of the sanitation bond is to ensure that the building site is kept clean and sanitary facilities for workmen are provided, that waste concrete is not dumped indiscriminately, and that construction debris is properly disposed of and not allowed to blow into other parts of the Community. Upon successful completion of the project,



including cleanup and final inspection, the sanitation bond will be refunded.

### 3.1 PARCEL/LOT MASTER PLANNING

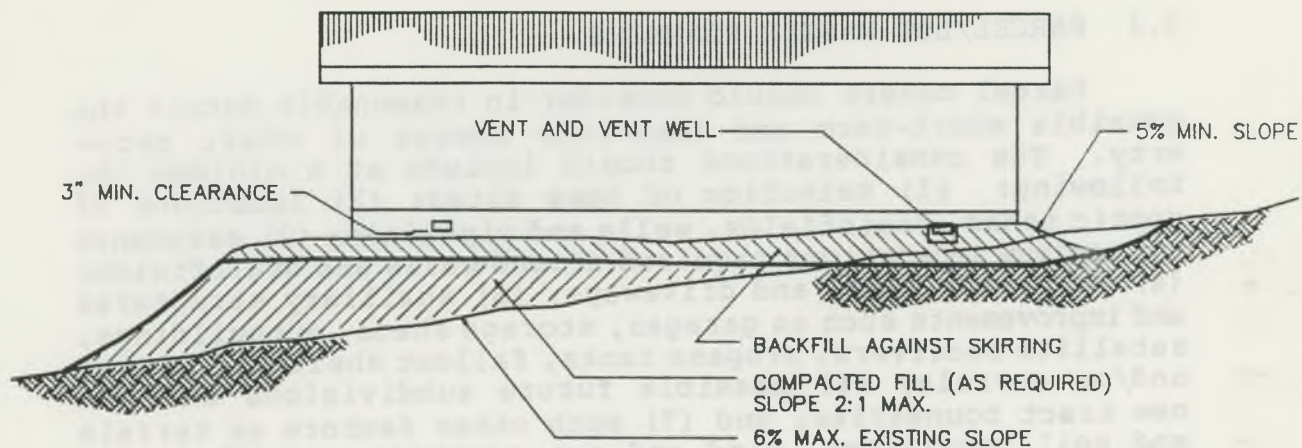
Parcel owners should consider in reasonable detail the possible short-term and long-term usages of their property. The considerations should include at a minimum the following: (1) selection of home sites; (2) locations of septic tanks, drainfields, wells and pipelines; (3) easements and minimum separations required around wells and drainfields; (4) routes of roads and driveways; (5) auxiliary structures and improvements such as garages, storage sheds, outbuildings, satellite receivers, propane tanks, fallout shelters, fencing and/or corrals; (6) possible future subdivisions and the new tract boundaries; and (7) such other factors as terrain and soil conditions, wind and sun exposure, possible snow drifting, privacy, scenic views as well as any disturbance of the views from other properties, orientation of the home, landscaping, drainage, parking areas, and required setbacks from parcel or lot boundaries. Solar exposure should be maximized and natural wind barriers utilized where possible if it is desired to minimize heating requirements.

Mobile homes should not be located within a natural drainage course, flood plain, or where excessive ponding can be reasonably expected. Mobile homes should not be located in areas of potential landslides or rockslides, or on sites where the slope is in excess of 6% in the longitudinal direction or 14% in the traverse direction (see Figure 1).

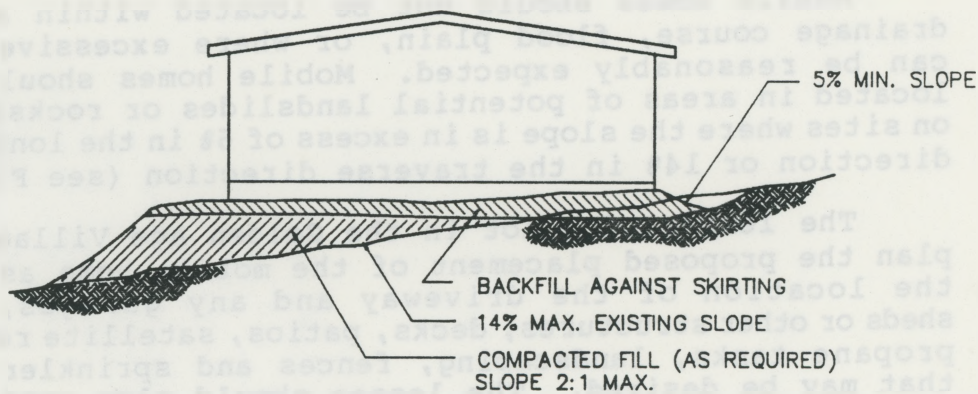
The lessee of a lot in the Golden Age Village should plan the proposed placement of the mobile home as well as the location of the driveway and any garages, storage sheds or other structures, decks, patios, satellite receivers, propane tanks, landscaping, fences and sprinkler systems that may be desired. The lessee should also consider the location of water and sewer risers as well as required setbacks from lot boundaries.

A detailed inspection of the site by the landowner or lessee and any other interested parties is recommended before final decisions are made.

Once the final decisions have been made, the site should be clearly staked as to proposed road and driveway routes, building locations, septic tanks and drainfields, etc., in preparation for a field inspection by a member of the Committee.



### LONGITUDINAL



### TRANSVERSE

**Figure 1: SITE SLOPE LIMITATIONS**



### 3.2 ACCESS

Mobile home pads should be accessible for installation of the unit by trailer toter. Access roads constructed for the installation should have a maximum continuous grade of no more than 8% (with short runs of up to 12%) and a recommended turning radius on all curves and turns of at least 1.1 times the length of the mobile home unit. If the grade of the road is in excess of 10% or if the turning radius is sharper than that recommended, it may be necessary to employ special equipment to transport and place the home and may make vehicular access impractical.

### 3.3 SITE DEVELOPMENT PLANS

The development of a mobile home site includes the following basic components: pad, foundation, utilities (water, septic system, electricity, liquid propane (LP) gas and telephone), skirting, backfilling, other improvements and structures, and landscaping. All of the phases of development should be completely planned out in advance.

## 4.0 INSTALLATION SPECIFICATIONS

This section presents details for installation of a mobile home. A typical recessed mobile home pad is illustrated in Figures 2 and 3.

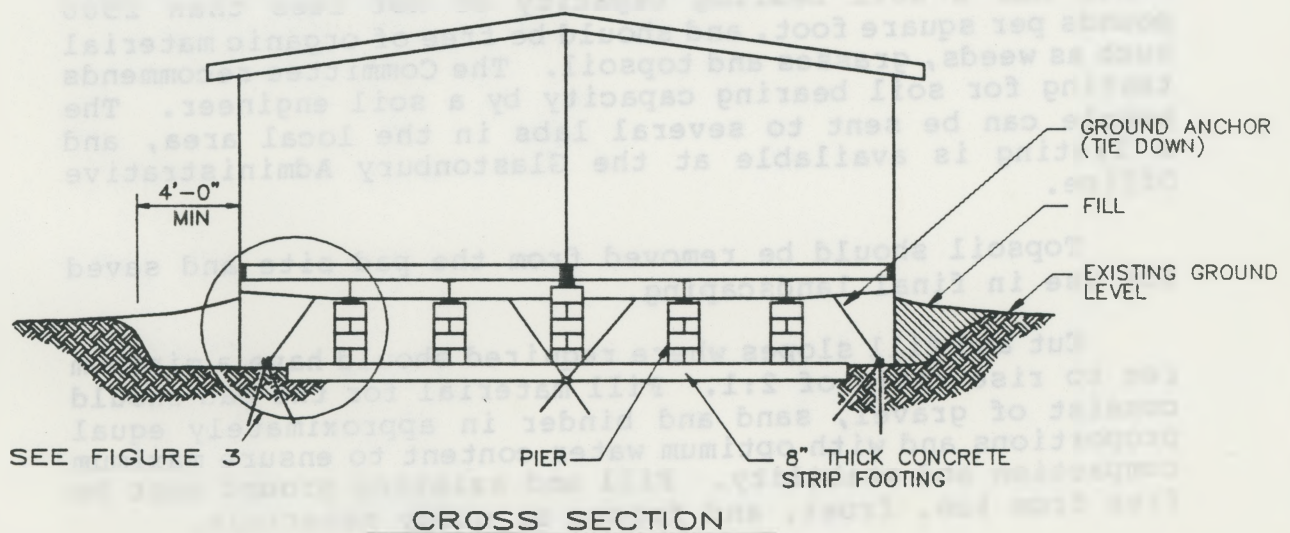
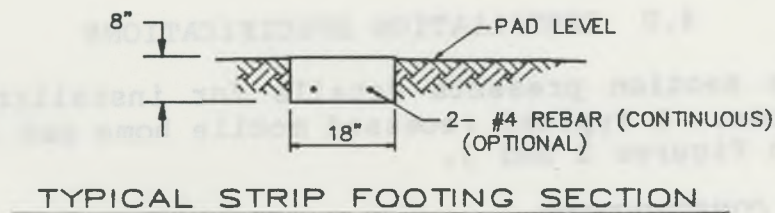
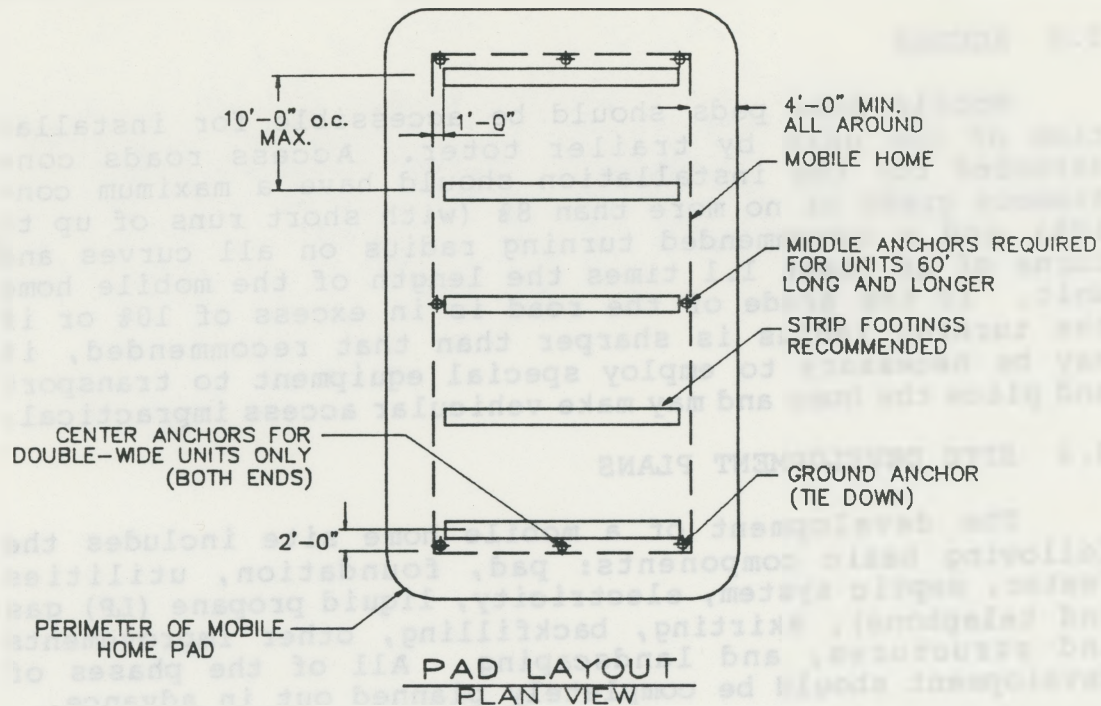
### 4.1 PAD CONSTRUCTION

The mobile home pad should be located on stable soil which has a soil bearing capacity of not less than 2500 pounds per square foot, and should be free of organic material such as weeds, grasses and topsoil. The Committee recommends testing for soil bearing capacity by a soil engineer. The sample can be sent to several labs in the local area, and a listing is available at the Glastonbury Administrative Office.

Topsoil should be removed from the pad site and saved for use in final landscaping.

Cut and fill slopes where required should have a minimum run to rise ratio of 2:1. Fill material for the pad should consist of gravel, sand and binder in approximately equal proportions and with optimum water content to ensure maximum compaction and stability. Fill and existing ground must be free from ice, frost, and frozen or muddy materials.

Compaction of all pad fill materials, and all backfill materials placed in trenches running under the pad for pipelines and utilities, is vital to proper pad construction. Improper compaction can result in settling of the pads and



**Figure 2: LAYOUT AND CROSS SECTION OF A TYPICAL PAD, SUPPORT SYSTEM, AND ANCHOR LOCATIONS FOR RECESSED PLACEMENT**



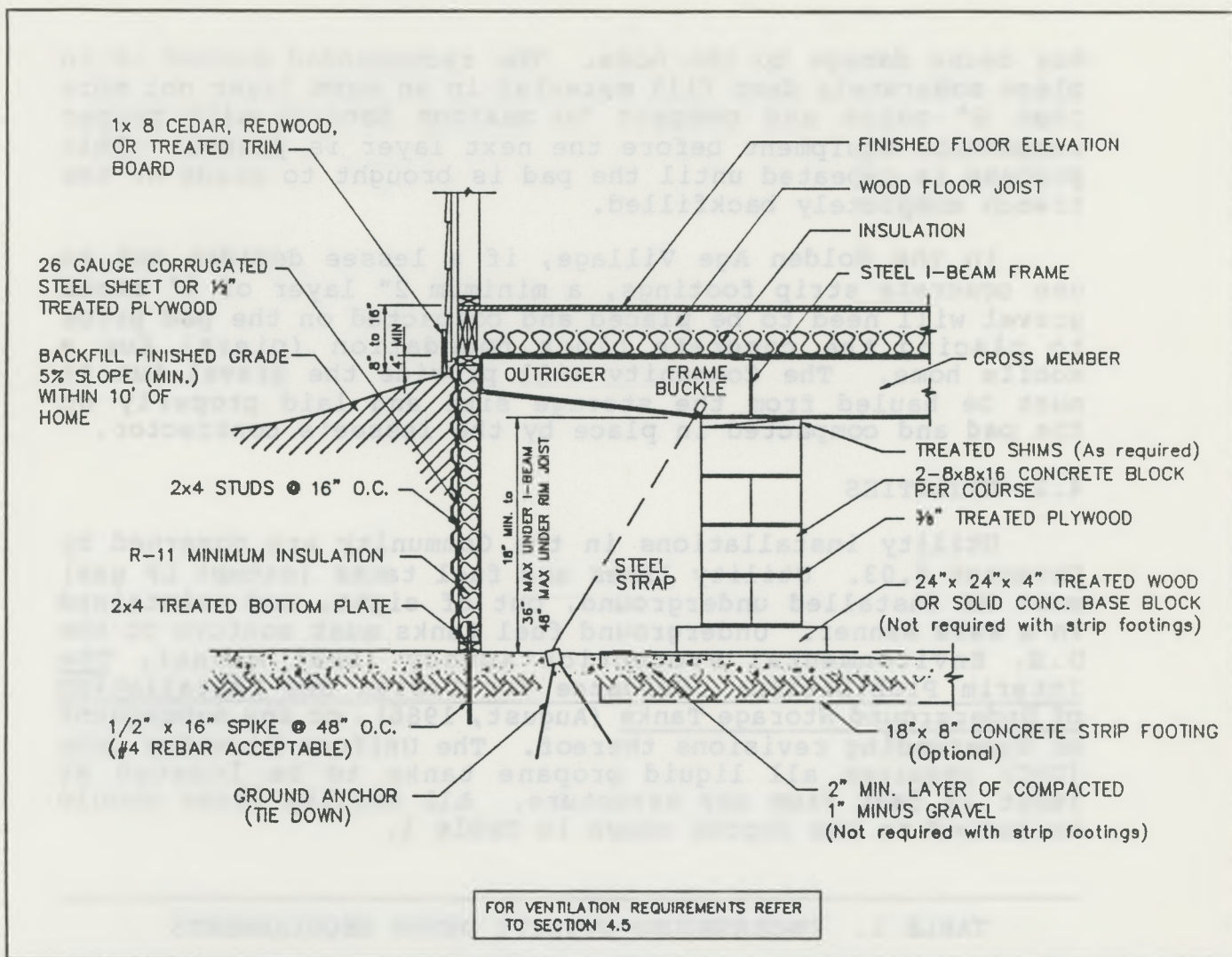


Figure 3: STANDARD DETAIL FOR PIER CONSTRUCTION,  
GROUND ANCHORAGE, AND RECESSED SKIRTING



may cause damage to the home. The recommended method is to place moderately damp fill material in an even layer not more than 6" thick and compact to maximum density with proper compaction equipment before the next layer is placed. This process is repeated until the pad is brought to grade or the trench completely backfilled.

In the Golden Age Village, if a lessee decides not to use concrete strip footings, a minimum 2" layer of 1" minus gravel will need to be placed and compacted on the pad prior to placing the concrete block foundation (piers) for a mobile home. The Community will provide the gravel but it must be hauled from the storage site and laid properly on the pad and compacted in place by the lessee's contractor.

#### 4.2 UTILITIES

Utility installations in the Community are governed by Covenant 6.03. Utility lines and fuel tanks (except LP gas) must be installed underground, out of sight, and maintained in a safe manner. Underground fuel tanks must conform to the U.S. Environmental Protection Agency (EPA) Manual, The Interim Prohibition: Guidance for Design and Installation of Underground Storage Tanks (August, 1986), or any subsequent or superceding revisions thereof. The Uniform Plumbing Code (UPC) requires all liquid propane tanks to be located at least 10 feet from any structure. All utility lines should be buried to the depths shown in Table 1.

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TABLE 1. UNDERGROUND UTILITY DEPTH REQUIREMENTS

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Water lines.....	6' - 8' minimum
Sewer lines.....	3' minimum
LP Gas lines.....	2' minimum
Electrical lines.....	1.5' - 2'
Telephone lines.....	1.5' - 2'

---

Electrical and telephone lines should be at least 12" apart if laid in the same trench. Electrical and gas lines should be separated by a minimum of 18".

Water and sewer connections should be made beneath the mobile home inside of the perimeter of the skirting. Heat taping and insulation of exposed water piping beneath the mobile home is highly recommended for this climate. Burial of water supply lines to a minimum depth of 6' - 8' is recommended in this climate for frost protection.

In the Golden Age Village, it is the responsibility of the lessee to install electric heat tape on all exposed water pipes and plug in the heat element on the water riser

to prevent freezing. Heat tape must be kept in working condition at all times. The existing yard hydrant on each lot in the Golden Age Village is frost free and does not require heat taping.

LP gas connections should be made outside of the mobile home rather than underneath in order to avoid the possible accumulation of gas in the crawl space. A two-stage regulator is recommended, one at the tank and one at the exterior of the home. In the Golden Age Village only, propane tanks must be screened from view on all four sides by fence or landscaping, with a gate provided for installation, removal and easy access for servicing. This is recommended but not required for private parcels in the rest of the Community.

#### 4.3 FOUNDATION

The mobile home foundation must provide adequate support to the steel I-beam frame, the connection between the units in the case of double-wide homes, and the sidewalls and endwalls of homes which do not have steel frame outriggers and cross-members. Details are shown in Figures 3 and 4.

##### 4.3.1 Concrete Strip Footings

Concrete strip footings are strongly recommended for foundations under all mobile homes in the Community. They are an important element in providing a stable base for each pier and tying the piers together for the width of the home. The installation of concrete strip footings of the size and orientation shown in Figure 2 will substantially enhance the stability of the piers and the ease of setting up the mobile home. The added stability of the foundation and the distribution of the loads into the soil will reduce the possibility of settlement which can cause movement between the two halves of a double-wide mobile home. Such settlement can cause misalignment of doors and windows, cracking of interior walls, breakage of service connections and other damage.

The effects of settlement on single-wide homes are generally less severe because a one-piece unit has a greater resistance to movement and misalignments. Therefore, strip footings are not as necessary under single-wide mobile homes as for double-wides. Nevertheless, damage of the type listed above could be caused to single-wide homes should severe settlement occur. Strip footings should be considered particularly in cases where soil stability and bearing capacity is suspected of being marginal.

The strip footings should run perpendicular (oriented at a 90 degree angle) to the length of the home and the steel I-beam frame as shown in Figures 2 and 3 to ensure accurate placement of each pier centered under the steel frame on the footing. Footings oriented parallel to the steel frames are



not recommended because they have a much smaller tolerance for error, do not tie the piers together across the width of the home, and in most cases require more linear feet of footings making them more costly. The concrete footings should be constructed to be level to within 1/4" in 10', and the top of the footing should be at an even grade with or slightly raised above the pad (except in the case of concrete block perimeter foundation walls).

#### 4.3.2 Gravel Base Foundation

A well-drained gravel pad placed on thoroughly compacted, good quality soil may be capable of providing adequate support for properly-dimensioned load bearing piers. This should be confirmed with a soil test as recommended in Section 4.1.

The surface of such a pad should consist of at least a 2" layer of compacted 1" minus gravel. Where concrete strip footings are used the gravel layer may be omitted, but compaction of fill materials under the foundation is still vital (see Section 4.1). The overall pad should remain level to within 6" in 100' (1/2%).

#### 4.3.3 Piers

A key structural element of the foundation is the load-bearing support pier (see Figure 3). The requirements for piers, commonly referred to as "blocking," are as follows:

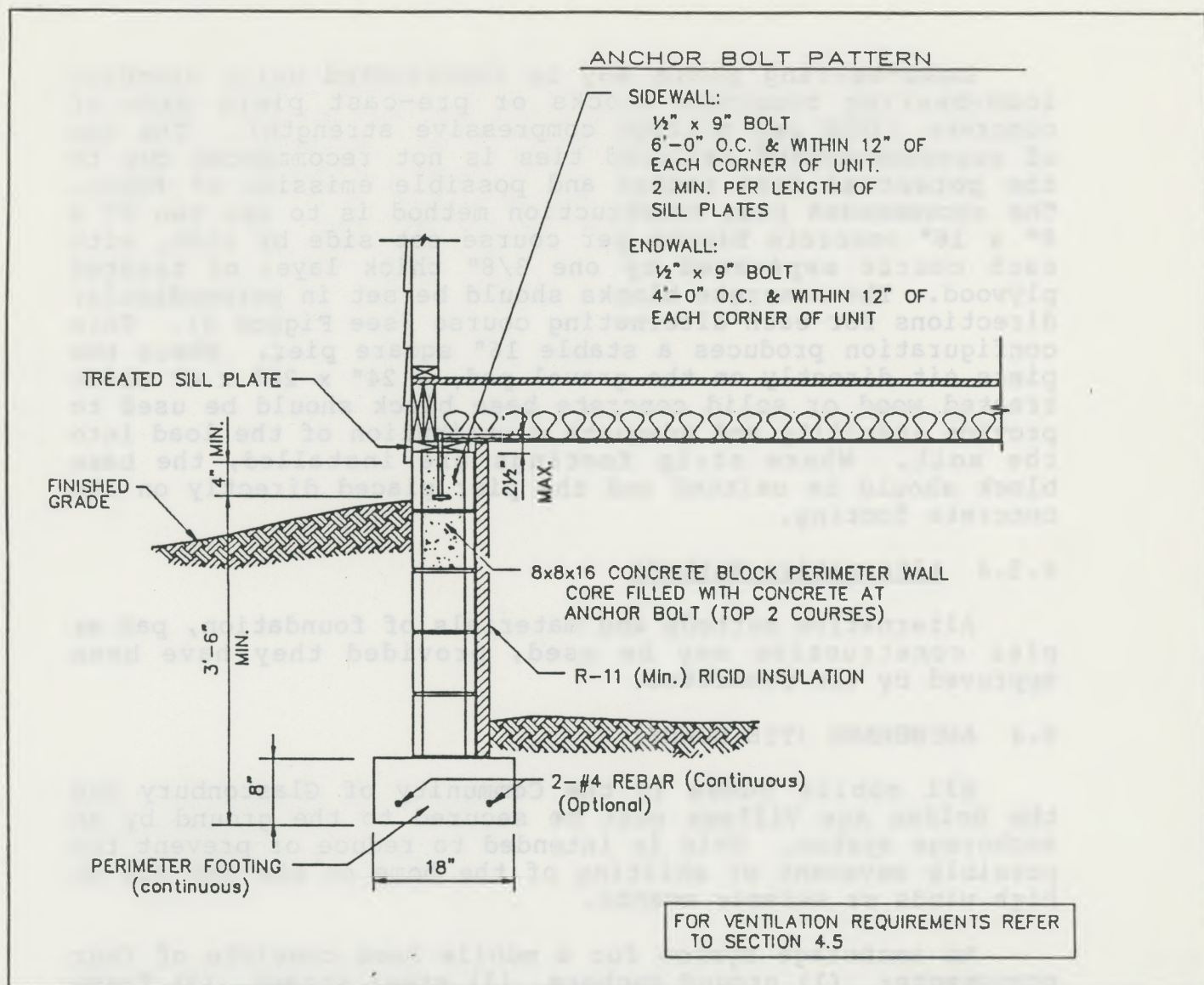
(1) The piers must have a stable geometry, be constructed of materials capable of transferring the loads of the home safely to the ground and be capable of distributing the weight of the mobile home over a sufficient area of the pad to prevent instability and settling.

(2) The total height of piers above the pad should be no less than 18" and no greater than 36" for piers supporting the steel I-beam frame and no greater than 48" for piers supporting the rim joist connection between the two halves of a double-wide or around the perimeter of an entire home without a steel frame (see Figure 4).

(3) Piers should be centered under the main steel I-beam frame at a uniform spacing for the full length of the home in accordance with the mobile home manufacturer's recommendations, with a maximum spacing of 10' on center.

(4) Piers should be centered under the connection between double-wide units at the locations of concentrated loads and as specified by the manufacturer.





**Figure 4: STANDARD DETAIL FOR PERIMETER BEARING WALL ON FOOTING  
 (REQUIRED FOR HOMES WITHOUT STEEL FRAME  
 OUTRIGGERS AND CROSS-MEMBERS)**

Load-bearing piers may be constructed using standard load-bearing concrete blocks or pre-cast piers made of concrete (3000 psi minimum compressive strength). The use of creosote-soaked railroad ties is not recommended due to the potential fire hazard and possible emission of fumes. The recommended pier construction method is to use two 8" x 8" x 16" concrete blocks per course set side by side, with each course separated by one 3/8" thick layer of treated plywood. The concrete blocks should be set in perpendicular directions for each alternating course (see Figure 3). This configuration produces a stable 16" square pier. Where the piers sit directly on the gravel pad, a 24" x 24" x 4" thick treated wood or solid concrete base block should be used to provide stability and adequate distribution of the load into the soil. Where strip footings are installed, the base block should be omitted and the pier placed directly on the concrete footing.

#### 4.3.4 Alternative Methods

Alternative methods and materials of foundation, pad or pier construction may be used, provided they have been approved by the Committee.

#### 4.4 ANCHORAGE (TIE DOWNS)

All mobile homes in the Community of Glastonbury and the Golden Age Village must be secured to the ground by an anchorage system. This is intended to reduce or prevent the possible movement or shifting of the home on the pad due to high winds or seismic events.

An anchorage system for a mobile home consists of four components: (1) ground anchors, (2) steel straps, (3) frame buckles, and (4) tension tubes (refer to Figure 3). Given the prevailing soil types at Glastonbury, the number of anchors required for a single-wide mobile home is 4-6, and for a double-wide home is 6-8 (see Figure 2). The anchor points at the marriage line of a double-wide unit require 2 straps, 2 tension tubes and 2 frame buckles. Anchors for single-wide units and the perimeter of double-wide units require 1 strap, 1 tension tube and 1 frame buckle per anchor (refer to Figure 3).

The recommended hardware is "Pin-Lock" manufactured by MHA Corporation, which is available locally.

#### 4.5 SKIRTING AND UNDERFLOOR VENTILATION

Skirting walls should be designed and constructed according to the details shown in Figure 3. In general, this consists of a wooden skirting wall structure covered with corrugated steel sheeting or treated plywood. Underfloor space should be cross-ventilated. The UBC recommends that each



150 square feet of underfloor space be ventilated by not less than one square foot of louvered screened opening. In addition, if combustion air for a heat-producing appliance is taken from within the underfloor space, more ventilation may be necessary to assure proper operation of heating units. A competent heating and ventilation specialist should be consulted to determine the proper amount.

We recommend placing a vapor barrier of 4-6 mil polyethylene plastic flat on the ground underneath the mobile home extending just beyond the skirting. This will help to prevent the buildup of moisture in the crawl space under the home as well as the possible collection of natural radon gas emissions that may exist in the area.

At least one crawl space access opening of not less than 18" in any direction and not less than 3 square feet should be installed. It should be located so that all utility connections located under the mobile home are accessible. This opening may be on the exterior of the home, or if practical, from the interior of the home.

In the Golden Age Village, skirting must be insulated to prevent freezing of pipes and for more efficient insulation of the home. The Committee highly recommends insulation of skirting for all mobile homes in this area.

#### 4.6 BACKFILL

The final step in completing the recessed placement of a mobile home is to backfill around the skirting. Backfill material should be free from rocks and cobbles larger than 6" and compacted lightly in 12" layers. Heavy compaction is not recommended since it may collapse or damage the skirting structure. Surfaces should be mounded slightly to compensate for natural settlement. The finished grades should provide at least a 5% slope away from the mobile home to allow for drainage. Backfill should be placed to the base of the exterior siding and at least 8" below the finished interior floor level.

As an alternative, well-designed decking extending at least 8' away from the home can take the place of the earth backfill against the skirting which is normally required in recessed placements.

In the Golden Age Village, some fill material is available adjacent to the lots for backfilling purposes. If the volume of material is inadequate, the GAO can direct the lessee or contractor to stockpiles which may be used to complete the landscaping. Deeper fills should consist of pit-run gravel topped off with 3" - 6" of top soil. While backfilling, the contractor should also prepare the driveway. The GAO, upon request of the lessee or contractor, will provide the gravel for Golden Age Village driveways.



## 5.0 MOBILE HOME STANDARDS

Mobile homes are conditionally allowed in the Community of Glastonbury under Covenant 6.05 (see Appendix I). The following rules have been adopted within the Community regarding the exterior appearance and quality of mobile homes to be placed either on individual parcels or on lots in the Golden Age Village mobile home park. This section sets forth the standards that will be applied.

There are three cases recognized for mobile homes in the Community: (1) mobile homes used as permanent dwellings on parcels in the Community of Glastonbury, (2) those used as permanent dwellings on lots in the Golden Age Village, or (3) those used as temporary living quarters on parcels while building a permanent home. All of the standards and specifications in this document apply unless specific exceptions are noted.

For permanent placements on parcels in the Community--unless such homes are decked or are concealed from view from roads and other parcels by landscaping, earth berm, fence, wall or by another approved method, as set forth in Section 5.2--mobile homes must be installed on recessed pads as described in Section 4.0 (placed 18" to 36" beneath ground level rather than on top of the surface) in order to avoid the "blocked-up" appearance common in many mobile home installations, and must meet the other architectural criteria set forth in Section 5.1.

Where a mobile home is used as a temporary living quarters while building a permanent home, the maximum time it can be on the site without meeting the requirements for a permanent home is three (3) years. In this case, all site utilities must still be buried and should, if possible, be designed and developed for the permanent home (see Section 4.2). The mobile home may then be temporarily connected to those systems.

Mobile homes placed in the Golden Age Village must be recessed and must meet all of the standards for a permanent home in the Community as well as those set forth in Section 6.0 at the time they are installed, or a variance must be granted by the Committee prior to installation. In the case of a temporary variance, the mobile home must be upgraded to meet all of the standards within six (6) months after its placement in the Golden Age Village.

### 5.1 ARCHITECTURAL CRITERIA

The following architectural and design criteria have been established for all permanently placed mobile homes in the Community of Glastonbury and the Golden Age Village in order to protect and maintain the general character and quality of the Community:

(1) Units less than ten (10) feet wide and travel trailers are not acceptable for permanent residences in the Community. However, attractive additions onto narrower units could be considered by the Committee to meet this requirement. In the Golden Age Village, units less than twelve (12) feet wide are not acceptable.

(2) Mobile homes must have or be retrofitted with pitched roofs. The recommended pitch is 3:12 or steeper, but a minimum pitch of 2:12 will be required in order to meet this standard.

(3) A minimum roof overhang of 8", which may include a rain gutter, is required. Each mobile home without roof overhangs must either be retrofitted with such overhangs or be fitted with an attached garage, covered carport, covered terrace or patio, and/or other additions in order to extend the pitched roof line and remove the box-like appearance of many conventional style mobile homes.

(4) Mobile homes must have or be retrofitted with wood, simulated natural wood grain, paneled exteriors or facades to create the appearance of a conventional home. All siding, porches, decks and attached structures should be treated, painted or stained to blend attractively with the mobile home. Mobile homes and attendant structures, porches, decks and skirting must be maintained and kept in good condition and repair.

(5) All mobile homes are to be skirted and installed on recessed pads with buried utilities according to Section 4.0 of the specifications and standards. Decking at least 8' wide may be substituted around part or all of a mobile home for earth backfilling to cover up exposed skirting and understructure.

(6) All hitches must either be removed or covered and hidden from view by landscaping or decking.

(7) In the Golden Age Village only, propane tanks must be screened from view on all four sides by fence or landscaping, with a gate provided for installation, removal and easy access for servicing; and tanks must be placed above ground at least 10' from any home or structure as required by the Uniform Plumbing Code. This is recommended but not required for private parcels in the rest of the Community.

If the above architectural criteria are substantially met, the Committee will not require mobile homes placed on parcels to be concealed from view from roads and other parcels by landscaping, earth berm, fence, wall, etc. as provided in Section 6.05 of the Declaration of Covenants. In addition, when a mobile home on a Glastonbury parcel requires upgrading



to comply with these criteria, a maximum of three (3) years will be allowed from the date of the approval of the mobile home installation by the Committee or movement of the unit into the Community to the completion of the retrofit. This period is synonymous with and shall run concurrently with the three (3) year period allowed for mobile homes used for temporary living quarters while building a permanent home. Otherwise, the home must be removed from the Community at the expiration of this grace period or concealed from view as provided in Section 5.2.

Mobile homes placed in the Golden Age Village must meet the above standards at the time they are installed, or if a temporary variance is granted, within six (6) months after placement. Any deviation from these standards must be with the prior approval of the Committee. Concealment is not an alternative in the Golden Age Village.

## 5.2 CONCEALMENT ALTERNATIVE

In accordance with Section 6.05 of the Declaration of Covenants, mobile homes installed on parcels not meeting the architectural criteria set forth in Section 5.1 within three (3) years of the date of approval of the installation by the Committee or movement of the unit into the Community, must either be concealed from view from roads and other parcels or removed from the Community. Acceptable methods of concealment from view include:

- (1) Landscaping with trees, thick shrubbery or bushes around exposed sides of the mobile home.
- (2) Earth berming around exposed sides of the mobile home.
- (3) Installation of an attractive fence or wall around exposed sides of the mobile home.
- (4) Any combination of the above that will achieve the same results.
- (5) Any other reasonably attractive and effective method of concealment approved by the Committee.
- (6) A combination of one or more of the above concealment alternatives with one or more of the architectural criteria set forth in Section 5.1 that is approved by the Committee.

In administering the above criteria, it is not the intent of these rules to discriminate against any type of housing or to create a hardship for any owner. The Committee will strive to work with landowners and to allow for flexibility in permitting them the fullest and most economical use of



their properties while protecting the character and quality of the Community for other residents.

### 5.3 FALLOUT SHELTERS

Fallout shelters as required by Section 6.06 of the Declaration of Covenants are also required for all mobile home installations. This condition can be fulfilled by submission of design plans and a construction timetable for, or evidence of participation in, an approved community fallout shelter. The latter will normally be the only approved method of meeting this requirement for residents of the Golden Age Village.

## 6.0 GOLDEN AGE VILLAGE MOBILE HOME MINIMUM INSTALLATION REGULATIONS AND LOT REQUIREMENTS

The following specifications, standards and limitations apply to the development and occupancy of all lots in the Golden Age Village:

### 6.1 SINGLE-WIDE LOTS

Lots designated on the approved plat on file with the Park County Clerk and Recorder as single-wide lots shall be used for single-wide mobile homes not less than twelve feet (12') in width and not to exceed eighteen feet (18') in width. No double-wide homes are allowed on these lots. Travel trailers and other vehicles less than twelve feet (12') in width do not qualify as single-wide mobile homes.

### 6.2 DOUBLE-WIDE LOTS

Lots designated on the approved plat on file with the Park County Clerk and Recorder as double-wide lots shall be used for double-wide mobile homes more than eighteen feet (18') in width that present the general appearance of a conventional pitched-roof single-family house. No single-wide homes are allowed on these lots.

### 6.3 LOT COVERAGE

The total area of a mobile home and its roofed accessory buildings may not exceed two thirds of the total surface area of any lot in the Golden Age Village. No basements and no two-story structures are allowed in the Golden Age Village.

### 6.4 SETBACK REQUIREMENTS AND HEIGHT LIMITATIONS

Mobile homes and their attached or detached structures, including but not limited to garages, covered carports, decks, porches, storage sheds or other structures, tanks and

satellite receivers, shall not encroach upon the minimum street, side and rear yard setback lines of the property and shall not exceed the height limitations as set forth in Table 2 below, unless a variance is granted by the Committee. Maximum height limitations also apply to trees, fences, walls and shrubs as shown in Table 2.

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TABLE 2. GOLDEN AGE VILLAGE LOT REQUIREMENTS

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MINIMUM SETBACKS:	
From Streets	15' Min.
Side Yard	5' Min. (7' Recommended)
Rear Yard	5' Min.
MAXIMUM HEIGHTS:	
For all Buildings and Structures	20' Max.
Trees	50' Max.
For all Fences, Walls & Shrubs	
Adjacent to Streets	4' Max.
Adjacent to Other Boundaries	5' Max.

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#### 6.5 ROOF OVERHANGS

Roof overhang lines shall be setback a minimum of 4' from all side and rear property lines.

#### 6.6 PARKING

A minimum of two 10' x 20' off-street parking spaces must be provided on each mobile home lot. Parking may be side-by-side, in tandem or in a garage or carport. Garages, driveways and off-street parking spaces must be designed so that parked cars will remain well clear of the street and drainage areas at all times. Driveways must be set back a minimum of one foot from adjacent lot boundaries.

#### 6.7 LANDSCAPING

It is the responsibility of each lessee to provide and maintain suitable landscaping and lawn improvements on his leased lot within six (6) months of the date of original occupancy. Trees planted on mobile home lots may not interfere with the placement and removal of mobile homes. Trees shall be located so as not to obstruct or encroach upon roadways, adjoining lots, and buried utilities or pipelines either with branches or roots.



## 6.8 ALTERATIONS AND IMPROVEMENTS

No alterations to any mobile home lot and the installed utilities may be made and no mobile homes, garages, decks, propane tanks, fences or other improvements or structures shall be installed or placed upon a lot until an application and site plan has been submitted to and approved by the Committee, which approvals will not be unreasonably withheld.

## 7.0 AMENDMENTS AND VARIANCES

These specifications and standards, and any of the rules, regulations, requirements, limitations, explanations and diagrams contained herein, may be revised, altered, amended or modified from time to time, either in whole or in part, by a unanimous resolution of the Glastonbury Project Review Committee at any meeting at which a quorum is present, or by the unanimous written consent of all of the members of the Committee, or by the Board of Directors of Church Universal and Triumphant, Inc., its successors or assigns--except that any amendments or modifications made to Sections 5.0, 6.0 or 7.0 by the Committee must also be ratified by resolution of the Board of Directors of the Church in order to become effective. In addition, the Glastonbury Project Review Committee may waive or grant variances to any of the provisions contained herein, where, in its discretion, it believes the same to be necessary and where the same will not be injurious to the rest of the Community. Any decision or action of the Glastonbury Project Review Committee may be appealed by an Applicant within 30 days to, or may be reviewed and modified at any time by the Board of Directors of the Church.

## 8.0 REFERENCES

Anonymous, Guidelines for Manufactured Housing Installations. International Conference of Building Officials, 5360 S. Workman Mill Road, Whittier, CA 90601, 1983. (28 annotated refs.)

Civil Defense Preparedness Agency, Suggested Technical Requirements for Mobile-Home Tie Down Ordinances, Technical Memorandum 73-1, July, 1974.

EPA Manual, The Interim Prohibition: Guidance for Design and Installation of Underground Storage Tanks (August, 1986)

Copies of the above references are available for inspection during business hours at the Glastonbury Administrative Office by any landowner, lessee, applicant or contractor in the Community of Glastonbury or Golden Age Village.



# Appendix I

## SECTION 6. STRUCTURES AND IMPROVEMENTS

6.01. Grantor's Approval. A site plan and building plans satisfactory to Grantor must be submitted by Landowners to the Grantor for recommendations and approval prior to beginning construction of any structure or the placing of a mobile home on a parcel. The Grantor may retain a copy of the said plans in its files. The design of any improvement shall be safe and in accordance with this Declaration. The Grantor's approval of the plans--and any recommendations--does not constitute an approval of the design, engineering, safety or legality of the structure, and the Grantor is hereby exempted from liability therefor. The Grantor shall approve the plans and make any recommendations deemed necessary or advisable, unless:

a. The plans are not in accordance with or are in violation of these covenants or are incomplete.

b. The proposed structure is, in the Grantor's opinion, unsafe, unsound, could pose a menace to the safety and health of other persons, or requires the assistance or input of an engineer.

c. The plan or the proposed structure is unlawful in any way.

6.02. Setback Requirements. No structures shall be placed within 25 feet of any parcel boundary line or 15 feet of any easement crossing a parcel, without prior approval of the Grantor. This applies to buildings and major improvements but not to fences, landscaping, roads, driveways, walks, sprinklers, etc.

6.03. Utilities. All electrical and telephone lines, sewer pipelines, septic tanks, cisterns, drainfields, and gas lines shall be placed underground. Pipelines and electrical and telephone lines shall be placed at least 36" beneath the surface. Propane tanks, windmills, tanks, pumps and the like may be placed above ground. Installation of utilities shall be in accordance with applicable laws, regulations and ordinances.

6.04. Signs and Billboards. No sign in excess of five (5) feet in height or in excess of thirty-two (32) square feet shall be allowed on a parcel without approval of the Grantor. No portion of any signs may be suspended above the ground in excess of twenty (20) feet, and no commercial billboards shall be permitted on a parcel without approval of the Grantor.

6.05. Mobile Homes. There are no restrictions on the use of mobile homes and trailers in the Community, except as follows:

a. At any time after three (3) years from the original date of purchase of a parcel, the Grantor may but is not obligated to adopt and enforce rules that require Landowners to provide a roof and exterior facade on mobile homes that is more in keeping with the general character and quality of the Community, or to conceal them from view from roads and other parcels by landscaping, earth berm, fence, wall, etc. Landowners are encouraged to landscape their parcel and obtain quality mobile homes as mentioned above from the beginning. Exterior wood or woodlike finishing on mobile homes is preferred.

6.06. Fallout Shelters. It is the policy of this development to require the construction and installation of blast-resistant fallout shelters--capable of withstanding the potential effects of modern conventional, thermonuclear, chemical and biological warfare--underneath, behind, in the basement of or in proximity to every dwelling or habitation placed upon any parcel. It is a further requirement that each dwelling, whether permanent